



DC RANCH DESERT PARKS COMMUNITY CENTER
Development Review Board
Case # 549-PA-2004
Project Narrative

I. Project Overview

The purpose of this application is to request Development Review Board ("DRB") approval of the DC Ranch Desert Parks Community Center (the "Community Center") in an area of DC Ranch zoned R1-7. The subject property consists of a triangular shape of land approximately 4 acres and is located at the southwest corner of Union Hills Drive and the 98th Street alignment (the "Property") within the DC Ranch master planned community ("DC Ranch"). The Property is owned by DC Ranch L.L.C., an Arizona limited liability company ("Owner"). The Owner proposes to develop the Property with a community and recreational facility for the residents of DC Ranch.

II. Location

The Property is located along the southern edge of and within the Town Center area of DC Ranch. The Community Center will be part of Town Center, which is planned to be a mixed-use development consisting of office, retail and residential uses including the Village Health Club and Spa. Access to the Community Center will be from Union Hills Drive to the north of the Property and the 98th Street alignment to the east of the Property.

III. Property Characteristics

The Property is currently undeveloped and being utilized for a dirt and rock stockpile pursuant to City of Scottsdale (the "City") standards. The majority of the Property is characterized as gently sloping to the southwest. There are no significant or Section 404 washes on the Property. The Property was vegetated with typical desert vegetation found in the area including cacti and palo verde trees.

IV. Description of Use

The Community Center is planned to be approximately 7,500 square feet of indoor area and approximately 25,000 square feet of outdoor activity areas. The building will be one (1) story with a maximum height of thirty feet (30') in accordance with the DC Ranch Second Amendment to Development Agreement dated October 19, 1998, as amended and the Conditional Use Permit approved for the Community Center. Any architectural features will be in compliance with applicable height limitations. The indoor portion of

the Community Center consists of multi-purpose rooms, offices, restrooms, and catering facilities. In addition to the indoor areas of the Community Center, there may be one or more of the following outdoor activity areas included within the programming of this facility: basketball/volleyball court, children's play area, tot lot, event lawn, and an interactive water feature. The Community Center will be a private facility for the benefit of the residents of DC Ranch.

The building is located on the northeastern portion of the Property with parking along the western and southern portions of the Property. Parking will be provided within a landscaped parking lot and will include approximately 160 surface parking spaces, in accordance with the requirements of the Development Agreement as well as other applicable City of Scottsdale requirements. The City standards and the DC Ranch master drainage report may require a retention area within the western edge of the Property.

The Property will be landscaped consistent with the landscape palette set forth in the Environmental Design Master Plan for DC Ranch and will include desert varieties native to the area. Significant amounts of landscaping will be provided along the entire perimeter of the Property as well as parking lot landscaping. There is also a buffer area along the southern boundary of the Property which will consist of roadway improvements, parking, a significant amount of landscaping, potentially a screen wall, and an existing sewer line.

The architecture for the Community Center will be consistent with the architecture themes contained in the master plan for this part of DC Ranch. Specifically, the design palette will be that utilized for the residential area of DC Ranch referred to as the Upper Canyon. The architectural styles have a Spanish origin and are being utilized to guide residential development in Silverleaf. The Upper Canyon Design Guidelines (the "Guidelines") encourage diversity by using a variety of Spanish architectural styles including Spanish Colonial, Mediterranean Revival, Spanish Mission and Ranch Hacienda. The Guidelines utilize the various architectural styles to create a sense of timeless quality by focusing on simple materials, detail and elegant massing. The architecture for the Community Center will be subject to design approval by the DC Ranch Covenant Commission in order to ensure conformance with the recorded covenants, conditions and restrictions for DC Ranch.

V. Compatibility with Surrounding Properties

The Community Center is planned for an area of DC Ranch that will include commercial, office, retail, residential, and activity uses and therefore is compatible with and will complement uses planned for Town Center. Furthermore, given the recreational nature of the use, this type of use is often located adjacent to residential uses. While the Community Center is compatible with planned adjacent uses, all of the surrounding property is currently undeveloped as reflected in Table 1 below.

Table 1

Property	Ownership Status	Proposed Use	Existing Zoning	Proposed Minimum Improvement Setbacks to Property Line
<i>Subject Property</i>	DC Ranch	Community Center	R1-7	20' to Union Hills Drive 50' to east 40' to southern edge of event lawn and 10' to Reata Pass Wash
North of Property	DC Ranch	Single family residential	R1-10	40' minimum from back of curb to lot line and 25' building setback from lot line for total of 65' for homes adjacent to Union Hills Drive
East of Property	DC Ranch	Single family attached residential	R-5	20' minimum building setback from back of curb for homes adjacent to 98 th Street alignment
South of Property	Toll Brothers	Single family residential	R1-7 R1-10 ESL	20' buffer between property line and lot line, 15' rear property setback for a total of 35' for homes south of the Community Center
West of Property	City	Reata Pass Wash	OS	NA

The Community Center is appropriately located in a residential area of DC Ranch along a major arterial roadway. The design of the Community Center will incorporate features to ensure compatibility with the surrounding residences, in particular the design of the outdoor activity areas. First, there are substantial setbacks between the adjacent development and the proposed uses at the Community Center as shown in the table above. Second, there will be substantial landscaping along the perimeter of the Property. Third, at the southern boundary of the event lawn, there will be a gentle sloping berm and landscaping to screen the outdoor activity areas and the parking from the adjacent developments and roadway.

The site lighting will be designed to conform to City of Scottsdale ordinances and the overall DC Ranch design guidelines. The exterior lighting of the Community Center will be designed to provide the least impact to the surrounding development, while maintaining adequate light levels for security. The lighting along the northern portion of the site, if any, will be installed in conjunction with the improvements to Union Hills Drive. The parking lot lighting utilized will be in conformance with lighting

requirements for development adjacent to residential uses as well as designed for security.

The Community Center exterior walls will be lit with indirect accent lighting. Accent lighting will also be utilized in the landscaped areas and along circulation routes in the parking area. The outdoor activity areas will be designed with minimal area lighting and with accent lighting for nighttime functions. The owner will agree to turn off all exterior parking lot, site, and exterior building mounted lighting, excluding security lighting, no later than 10 p.m. or one (1) hour after the conclusion of events, whichever occurs latter.



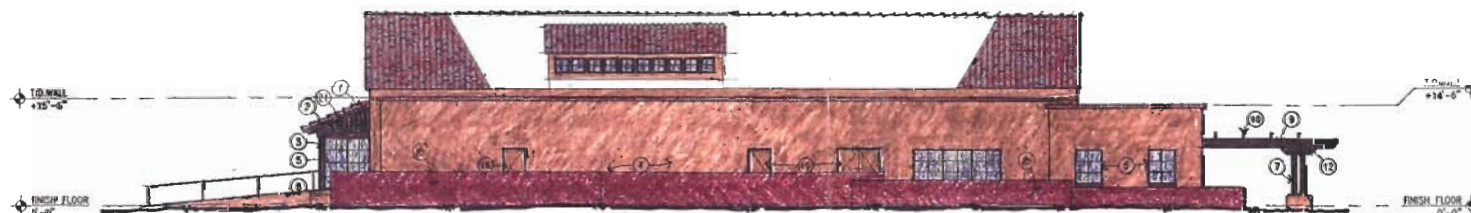
1 SOUTH ELEVATION

1/8"=1'-0"



2 EAST ELEVATION

1/8"=1'-0"



3 NORTH ELEVATION

1/8"=1'-0"



4 WEST ELEVATION

1/8"=1'-0"

KEYED NOTES

1. 5/8" RED CLAY MISSION TILE - CT-1
2. 6" WOOD SHAPED RAFTER 1A - WS-1
3. 6" WOOD SHAPED POST - WS-1
4. SEE STRUCTURAL
5. 1/2" INSULATED STUCCO SYSTEM - P-1
6. PRECAST INSULATED ALUMINUM WINDOW/DOOR SYSTEM - P-2
7. 6" WOOD SHAPED POST - WS-1
8. PAINTED STUCCO - WS-1
9. 6" WOOD SHAPED BEAM - WS-1
10. 6" WOOD SHAPED - WS-1
11. BRICK 8" P.C. CONCRETE PARAPET CAP - B-1
12. 6" WOOD SHAPED CORREL - WS-1
13. DECORATIVE IRON RAIL
14. 1/2" WOOD
15. BRICK 8" P.C. CONCRETE WINDOW SILL - B-1
16. PAINTED YELLOW METAL DOOR AND FRAME
17. PAINTED STUCCO DOWN SITE WALL - SEE
18. 1/2" WOOD
19. 1/2" WOOD
20. PAINTED METAL MATERIAL - P-2
21. 1/2" WOOD SHAPED RAILING - WS-1

COLOR LEGEND

- CT-1 ROOF TILE: RED AND GRAY TILE
- WS-1 WOOD SHAPED RAFTERS & BEAMS
- P-1 STUCCO PAINT: SHERWIN WILLIAMS SW 6002
- P-2 STUCCO PAINT: SHERWIN WILLIAMS SW 6002
- P-3 STUCCO PAINT: SHERWIN WILLIAMS SW 6002
- B-1 BRICK: BROWN BRICK #04

DESIGN REVIEW

REVISION

Ranch
DESERT PARKS Community Center

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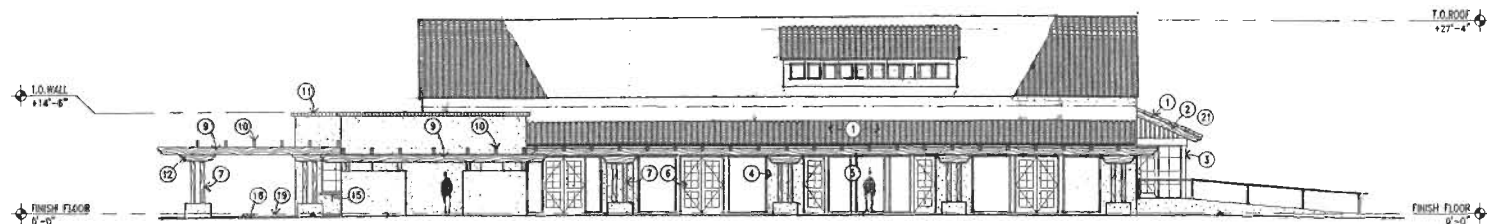
ELEVATIONS

13-DR-2005
2/9/2005

12/17/04

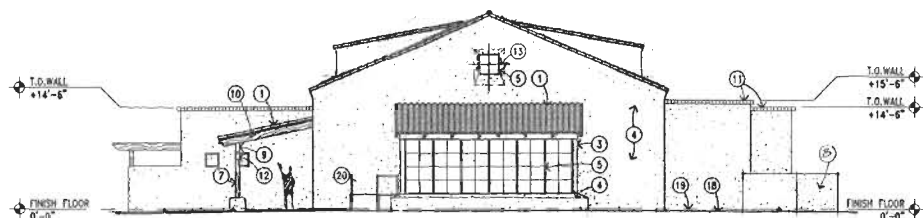
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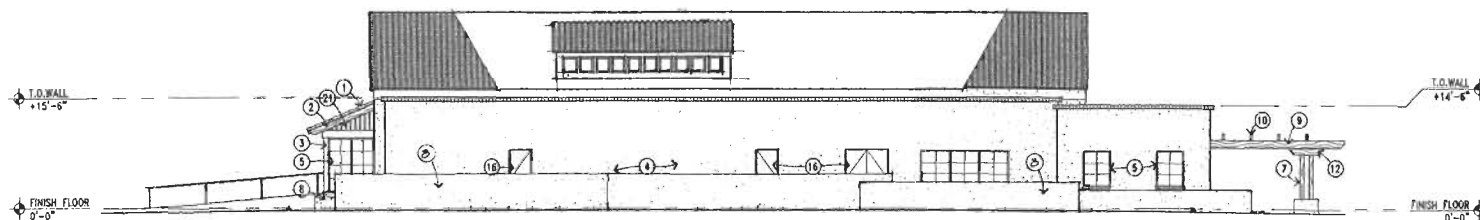
1 SOUTH ELEVATION

1/8"=1'-0"



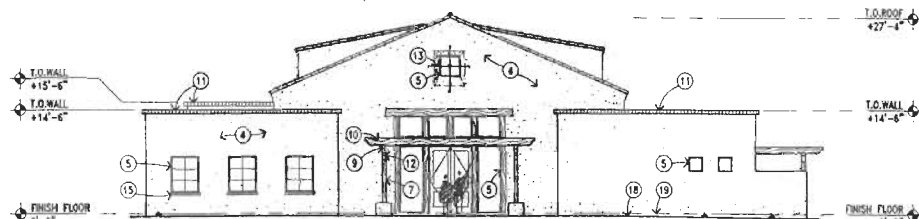
2 EAST ELEVATION

1/8"=1'-0"



3 NORTH ELEVATION

1/8"=1'-0"



4 WEST ELEVATION

1/8"=1'-0"

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KEYED NOTES

1. TWO-PIECE CLAY MASON TILE - CT-1
2. 4"x12" BEARING SHAPED BUTTER TAIL - WS-1
3. 8"x8" BEARING WOOD POST - WS-1
4. PRE-FABRICATED STUCCO SYSTEM - P-1
5. PRE-FABRICATED ALUMINUM WINDOW/DOOR SYSTEM - P-2
6. NOT USED
7. 8"x8" BEARING WOOD POST - WS-1
8. PAINTED STUCCO w/CMU - P-1
9. 6"x14" BEARING WOOD BEAM - WS-1
10. 4"x12" WOOD BEAM - WS-1
11. BRICK w/ P.C. CONCRETE PARAPET CAP - B-1
12. 8"x12" BEARING SHAPED CORBEL - WS-1
13. DECORATIVE IRON CABLE
14. NOT USED
15. BRICK w/ P.C. CONCRETE WINDOW SILL - B-1
16. PAINTED HOLLOW METAL DOOR AND FRAME
17. PAINTED STUCCO w/CMU WIRE WALL - SEE LANDSCAPE - P-1
18. APPROXIMATE FINISH GRADE
19. FINISHED FLOOR
20. PAINTED METAL HANDRAIL - P-2
21. STAINED WOOD & BUTTER BOARD - WS-1

COLOR LEGEND

- CT-1 ROOF TILE: REDLAND CLAY TILE
ADOBE BROWN BLEND/CALIFORNIA BLEND
- WS-1 WOOD STAIN, BEAMS & SIDING
OLYMPIC SEMI-TRANSPARENT #725
- P-1 STUCCO PAINT
SHERWIN WILLIAMS SW 6102 "PORTABELLA"
- P-2 WINDOW/DOOR FRAMES, GUARDRAIL PAINT
SHERWIN WILLIAMS SW 6054 "CANYON CLAY"
- P-3 STUCCO PAINT
SHERWIN WILLIAMS SW 6055 "FIERY BROWN"
- B-1 BRICK TRIM
PHOENIX BRICK #04

DESIGN REVIEW

REVISION



DEBERT PARK Community Center

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ELEVATIONS

13-DR-2005

2/9/2005

12/17/04
A7 4

